



Cathlaw on Ferrier

New Gisborne

DESIGN GUIDELINES

REV. 06
02/08/2018



CONTENTS

1	OVERVIEW	5
1.1	Design Guidelines	5
1.2	Application Process	5
1.3	Covenants	5
1.4	Statutory Obligations	5
2		6
3	GENERAL REQUIREMENTS	10
3.1	Construction Timeframe	10
3.2	Single Dwellings	10
3.3	Relocatable Buildings	10
3.4	Caravans and Temporary Buildings	10
3.5	Construction Refuse	10
4	ARCHITECTURAL CHARACTER	12
4.1	Identical Facade Assessment	12
4.2	Architectural Characteristics	13
4.3	Corner Lots Characteristics	13
4.4	Porches and Entries	13
5	DWELLING SIZE	14
5.1	Dwelling Size	14
5.2	Building Heights	14
5.3	Roofs & Pitch	14
6	SETBACK REQUIREMENTS	16
6.1	Standard Lots (450sqm or greater)	16
6.2	DUPLEX Lots (generally Less than 450 sqm)	17
6.3	Standard Corner Lots	18
7	GARAGES	20
7.1	Provision	20
7.2	Character	20
8	FENCING, LANDSCAPING & DRIVEWAYS	21
8.1	Boundary Fencing	21
8.2	Front Landscaping	22
8.3	Letterboxes	22
8.4	Driveways	23
9	ADDITIONAL BUILDINGS & STRUCTURES	24
9.1	Sheds	24
9.2	Pergolas, Patios & Decking	24
9.3	Clotheslines, Children's Play Equipment & BBQ's	24
9.4	Ancillary Items	24
9.5	NBN	24
10	GENERAL	25
10.1	Maintenance of Lots	25
10.2	Commercial Vehicles	25
10.3	Signs	25
10.4	Temporary & Permanent Storage	25
10.5	Parking	25
11	ENVIRONMENTAL SUSTAINABILITY	26
11.1	Liveability Considerations	26
11.2	Solar Panels	27
11.3	Rainwater Tanks	27
11.4	Energy Ratings	27
12	EXTERNAL MATERIALS & COLOURS	28
12.1	Building Materials and Finishes	28
12.2	Roofing Materials	28
12.3	Driveway Materials	28
12.4	Colour Schemes	28
13	APPLICATION FORM	30



1

OVERVIEW

1.1 DESIGN GUIDELINES

Welcome to Cathlaw on Ferrier, the new premier neighbourhood in New Gisborne.

Cathlaw has been structured as an innovative master-planned residential neighbourhood which is being developed to enhance and expand the New Gisborne Township.

These Guidelines are provided to assist in protecting your investment and to achieve the optimum residential amenity for the community that will call Cathlaw home in the years to come. Application of the Guidelines will ensure that all residents act in the best interests of the neighbourhood and that all development is of a standard that is in keeping with the vision for the Estate.

Diversity is welcomed, with every resident being able to contribute to the design of their own dwelling and surrounds. Contemporary architecture is encouraged. The intent of these guidelines is to enhance quality, not restrict dwelling choice.

Adherence to these guidelines will protect the value of your investment and will ensure Cathlaw evolves as a desirable and visually coherent environment.

The vendor is committed to work with all purchasers to protect the character and value of the Cathlaw neighbourhood from unplanned and unauthorised works. In particular those which might detract from the design philosophy which is intended to foster the creation of a high standard residential neighbourhood.

1.2 APPLICATION PROCESS

The siting and design of buildings at the Cathlaw on Ferrier must be approved by the Cathlaw Building Design Approval Committee (CBDAC). Approval by the CBDAC must be obtained before applying for a building permit for the construction of a new dwelling.

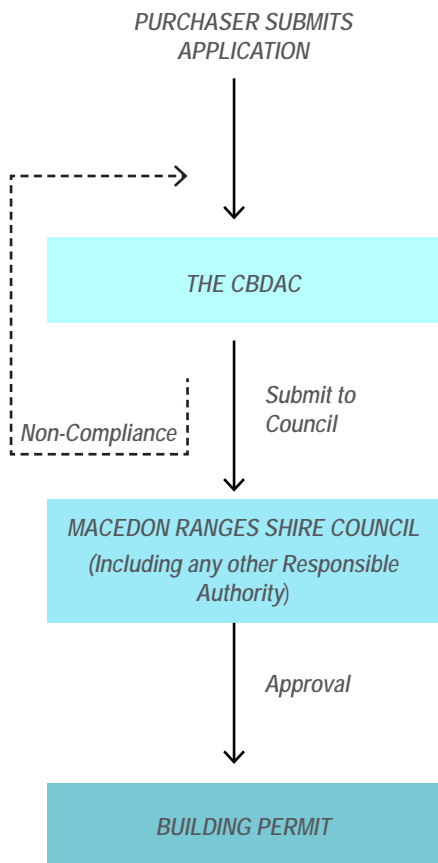
Approval by the CBDAC is not a building approval nor does it imply compliance with the building code, Building Regulations of the Macedon Ranges Planning Scheme.

1.3 COVENANTS

In the event that requirements under the Design Guidelines (endorsed under the Planning Permit - PLN / 2014 / 342) contradict covenants defined within the Plan of Subdivision, the covenants attached to the Plan of Subdivision will prevail.

1.4 STATUTORY OBLIGATIONS

It is the purchaser's responsibility to ensure all submitted documents comply with the Victorian Building Code, ResCode and all other planning and authority requirements, along with current Victorian energy rating standards prior to construction.



Developers Approval Process

2

THE MASTER PLAN



Masterplan Diagram

Cathlaw on Ferrier is a master-planned neighbourhood that builds on the natural New Gisborne environment. It incorporates a substantial area of centrally located open space which will provide recreational and leisure opportunities while serving as an environmental 'biolink' connecting the adjoining conservation marshland reserve with open space to the north.

Our guiding objective is to develop a high amenity residential neighbourhood by:

- ▶ Creating a sense of place which is in harmony with the existing New Gisborne Township
- ▶ Providing a diversity of housing product and options
- ▶ Facilitating a pedestrian orientated environment which incorporates high quality public open space
- ▶ Utilising a combination of consistent design themes in association with diversity

Legend

- Standard Lots
- Duplex Lots (mandatory)
- Duplex (discretionary)

Note: the Central Park Corridor is indicative only and subject to redesign in accordance with Council requirements.



RESERVE CONCEPT MASTERPLAN



3

GENERAL REQUIREMENTS



3.1 CONSTRUCTION TIMEFRAME

The total construction time for a dwelling or other improvements on the Land shall not on any account exceed 12 months from the date of commencement of such construction, except with the prior written approval of the Seller.

3.2 SINGLE DWELLINGS

Only one dwelling is permitted per lot. No further subdivision of residential allotments is permitted.

3.3 RELOCATABLE BUILDINGS

Relocatable Buildings are assembled buildings that are constructed in a building manufacturing facility using a modular construction process or are buildings constructed on another site and moved to a new location. To maintain a consistent character no relocatable or relocated buildings are to be used without the written consent of the CBDAC.

3.4 CARAVANS AND TEMPORARY BUILDINGS

No caravans or temporary buildings are permitted on the land in advance of a dwelling being erected on the site and achieving a Certificate of Occupancy.

3.5 CONSTRUCTION REFUSE

During construction, enclosed skips or bins including a lid must be used to prevent any windborne litter occurring.





4

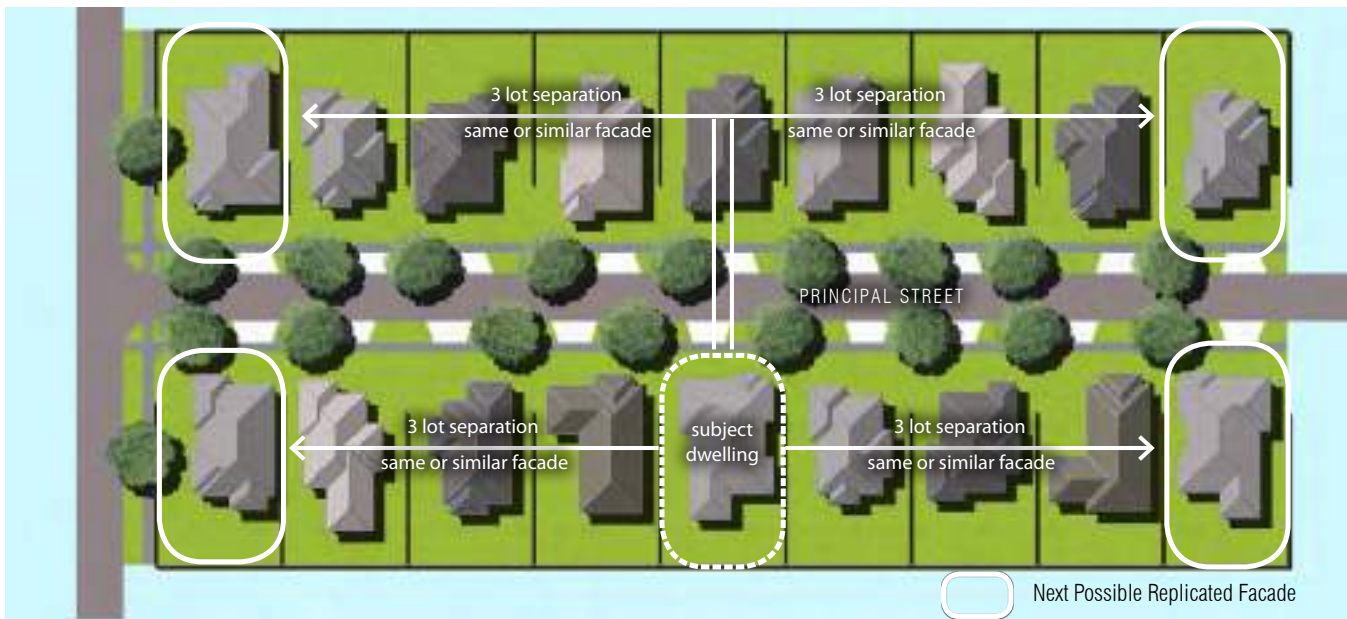
ARCHITECTURAL CHARACTER



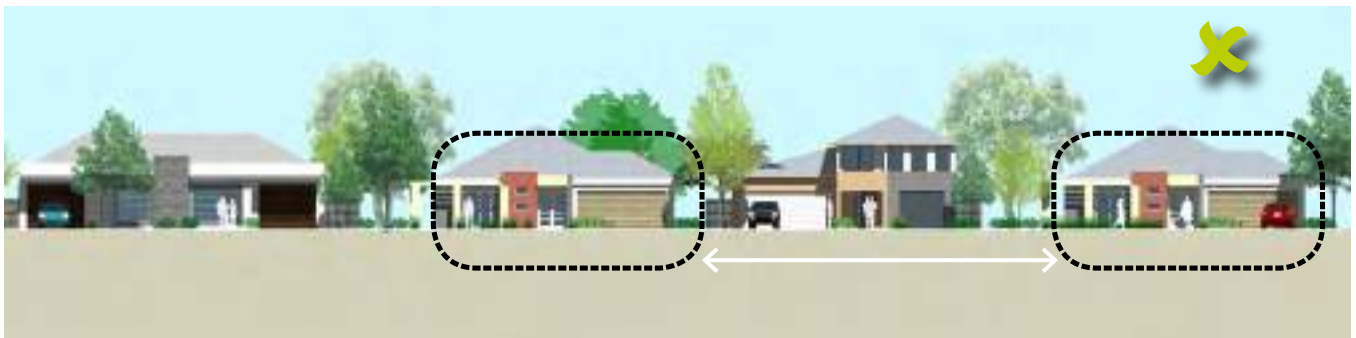
4.1 IDENTICAL FACADE ASSESSMENT

In order to uphold the integrity of new homes, and to promote a varied streetscape, 2 dwellings of the same front facade shall not be built within 3 contiguous lot spaces of the original lot as per the diagram below.

Under this clause, a mirrored (symmetrical) façade is not considered to be an identical facade.



Identical facade diagram



Facades are the too similar and too close together



Garage does not dominate primary frontage



Feature less wall on corner lots are to be avoided



Entry feature and balcony

4.2 ARCHITECTURAL CHARACTERISTICS

Designs incorporating a variety of contemporary architectural styles are encouraged. Unique dwelling designs displaying innovation and originality will be assessed favourably if they are shown to be in keeping with the contemporary design intent of Cathlaw on Ferrier Design Guidelines.

Architectural features such as verandahs, porticos, feature windows, facade detailing, roof features and articulated building forms are required.

Contemporary roof and awning themes coupled with articulation of single and double storey volumes are also preferred design initiatives.

4.3 CORNER LOTS CHARACTERISTICS

Dwellings constructed on corner lots and on lots that abut public open space areas such as a park or reserve must address both street frontages through the use of wrap around verandahs, feature windows, detailing, etc. Well-articulated architectural treatments should be provided where built form is visible beyond the side fence line, and at upper levels.

Overall facade articulation and material variation is strongly encouraged.

Entries and/or garages facing the secondary street frontage may be considered by the CBDAC where they are located adjoining open space and linear pedestrian open space links. It will be at the discretion of the CBDAC to determine acceptable corner treatment for each corner lot submission.

4.4 PORCHES AND ENTRIES

Each dwelling must incorporate an entry feature that is complementary to the dwelling design to create a sense of entry. This can be a porch, portico, balcony or verandah and can be a central feature of the facade or located towards the side of the primary frontage. Appropriate location of the entry will increase the character of the dwelling and contribute to a varied streetscape and be highly visible from the street.



5

DWELLING SIZE



Building oversized for the lot



Building oversized for the lot

5.1 DWELLING SIZE

The siting and proportion of the dwelling on the lot should be a well thought out response to the site. On lots less than 450sqm, the minimum dwelling size is 110sqm (excluding garages, patios, carports etc). On lots 450sqm and greater, the minimum dwelling size is 150sqm (excluding garages, patios, carports etc).

5.2 BUILDING HEIGHTS

The height of any new building should be no greater than 9m above the natural ground level.

Basements that impact the ground floor level (as viewed from the streetscape) must not project more than 1.2m above natural ground level.

To promote visually consistent building heights along streetscapes a minimum ceiling height of 2490mm at ground level is encouraged for single and double storey dwellings.

5.3 ROOFS & PITCH

Applicants are encouraged to explore varying roof forms which could include combinations of pitched and flat roofs as well as curved elements. Other than flat roofs with a maximum pitch of 5°, the minimum pitched roof angle must be 22°. Skillion and accent sections may have a minimum pitch of 16°.

Permitted roof materials include masonry, slate, terracotta tiles or Colorbond®. Other non-reflective materials may be considered for review by the CBDAC.



Varied roof forms



6

SETBACK REQUIREMENTS



Garage should be set back from the front wall

6.1 STANDARD LOTS (450SQM OR GREATER)

Front Setbacks

Dwellings fronting Ferrier Road must have a minimum setback of 6.0m. In all other locations, dwellings on standard lots must be setback from the front boundary by a minimum of 4.0m and a maximum of 6.0m.

Porches, porticos and verandahs less than 3.6m in height may encroach up to 2.5m into the minimum front setback.

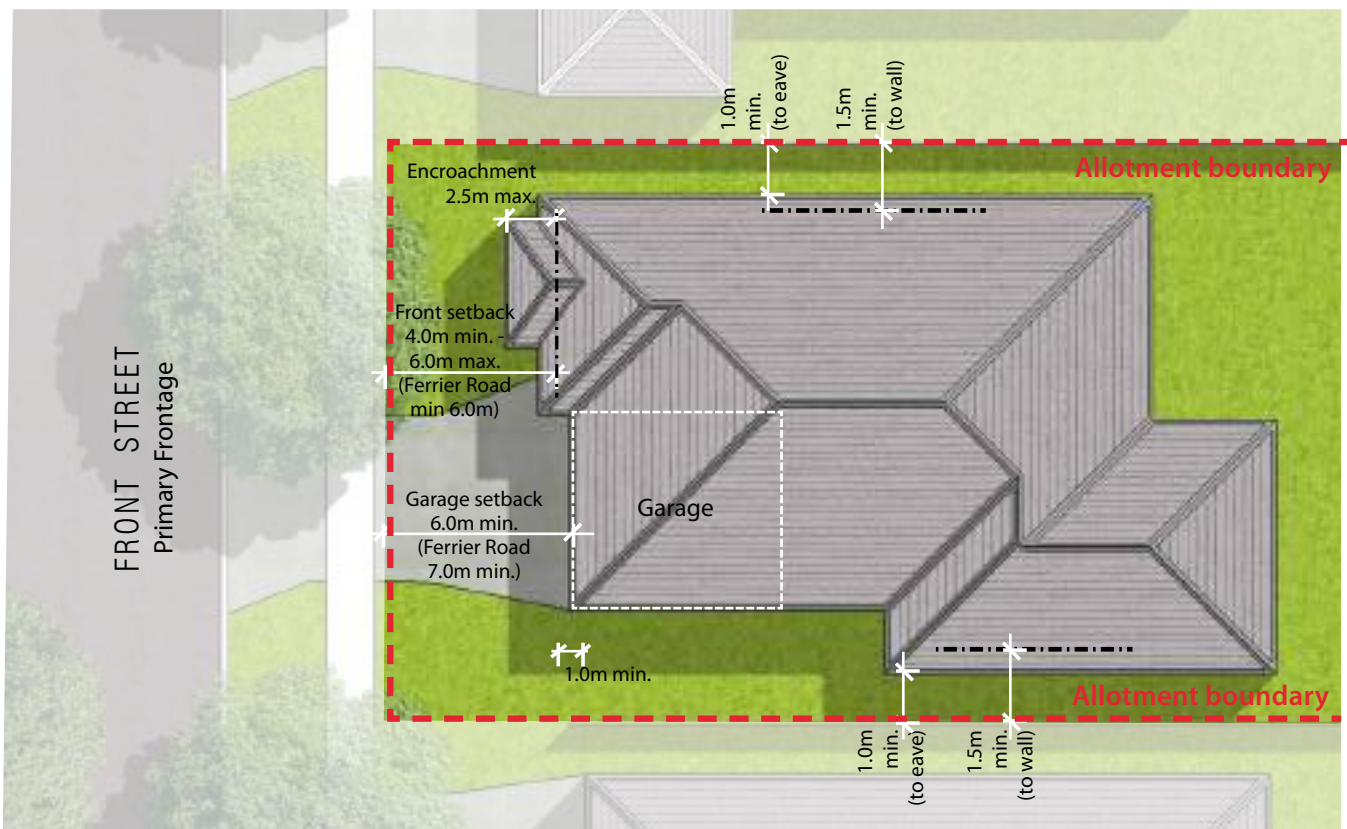
Garages must be located 1.0m behind the front wall of the main dwelling and a minimum of 6m from the front boundary.

Side Setbacks

Other than for duplex lots, a minimum building side setback of 1.5 metres is to be maintained from side boundaries. A minimum 1.0 metre roof/gutter setback is to be maintained from side boundaries.

Rear Setbacks

Must be in accordance with ResCode and any other governing authority requirements. These requirements may be varied with the written approval of the CBDAC and the Macedon Ranges Shire Council.



Standard lot setbacks plan



Common wall built to boundary

6.2 DUPLEX LOTS (GENERALLY LESS THAN 450 SQM)

The location of 'Duplex Lots' is shown on the Masterplan at section 2.0. The intention of duplex lots is to encourage party walls on which provide spatial efficiencies, which is especially important on smaller lots in the Estate. Party walls maximise the common setback area between properties, which in turn creates opportunity for canopy trees or more substantial landscaping between properties.

Front Setbacks

Dwellings must be setback from the front boundary by a minimum of 4.0m and a maximum of 6.0m. Porches, porticos and verandahs less than 3.6m in height may encroach up to 1.0m into the minimum front setback.

Garages must be located 1.0m behind the front wall of the main dwelling and a minimum of 6m from the front boundary.

External Duplex Boundary Setbacks

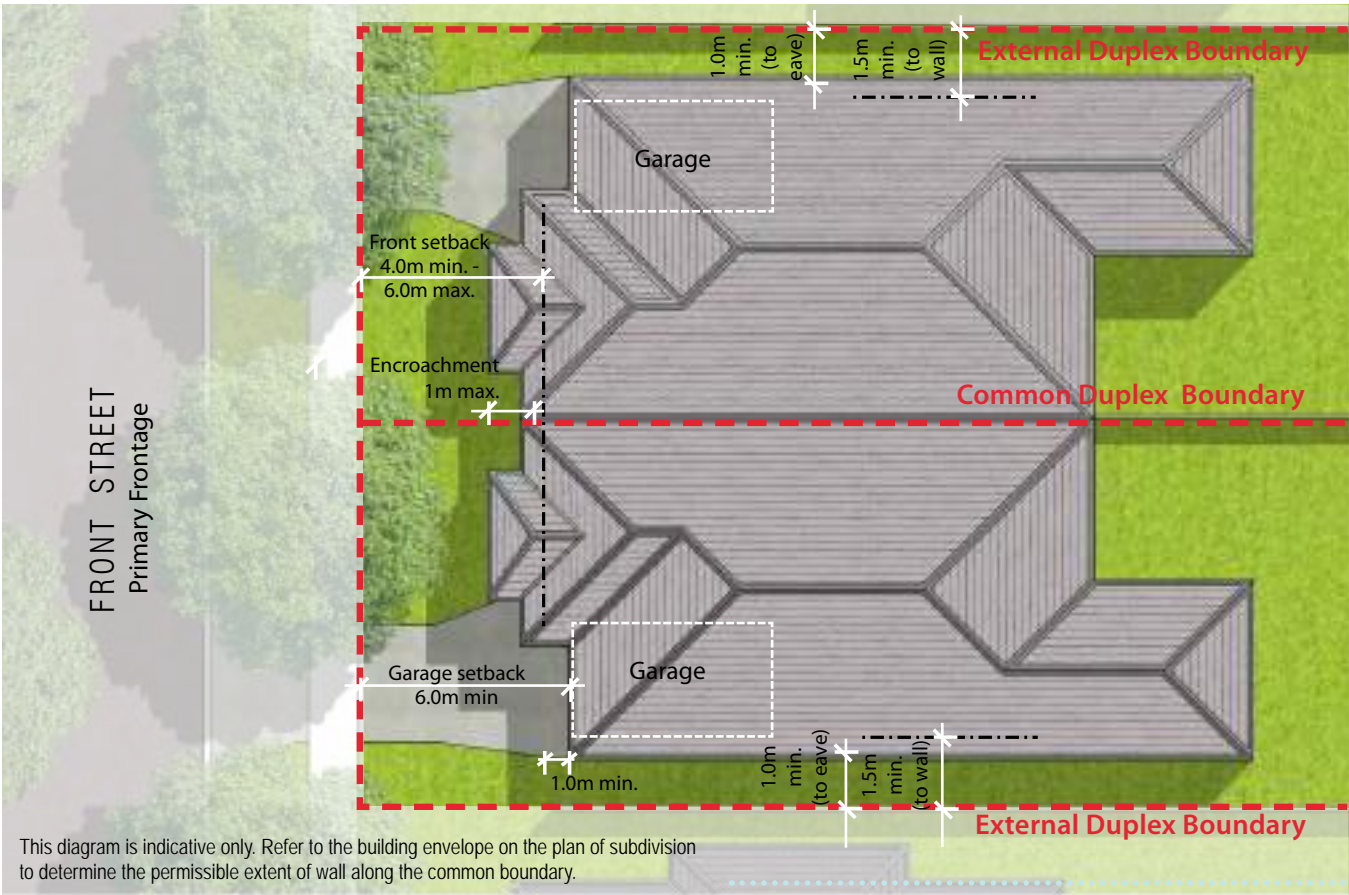
Walls must be set back from external duplex boundaries by a minimum of 1.5m. Eaves, gutters, and roof structure may encroach into the side setback by no more than 0.5m.

Common Duplex Boundary Setbacks

Duplex lots must be partially constructed on the common boundary to create a party wall. Unless both dwellings are constructed simultaneously, the builder of the first dwelling to be constructed must construct the full length of the common party wall as part of the first dwelling construction.

Rear Setbacks

Rear setbacks should be in accordance with ResCode and any other governing authority requirements. These requirements may be varied with the written approval of the CBDAC and the Macedon Ranges Shire Council.



Duplex lot setbacks plan



Garage set back 6m from secondary street

6.3 STANDARD CORNER LOTS

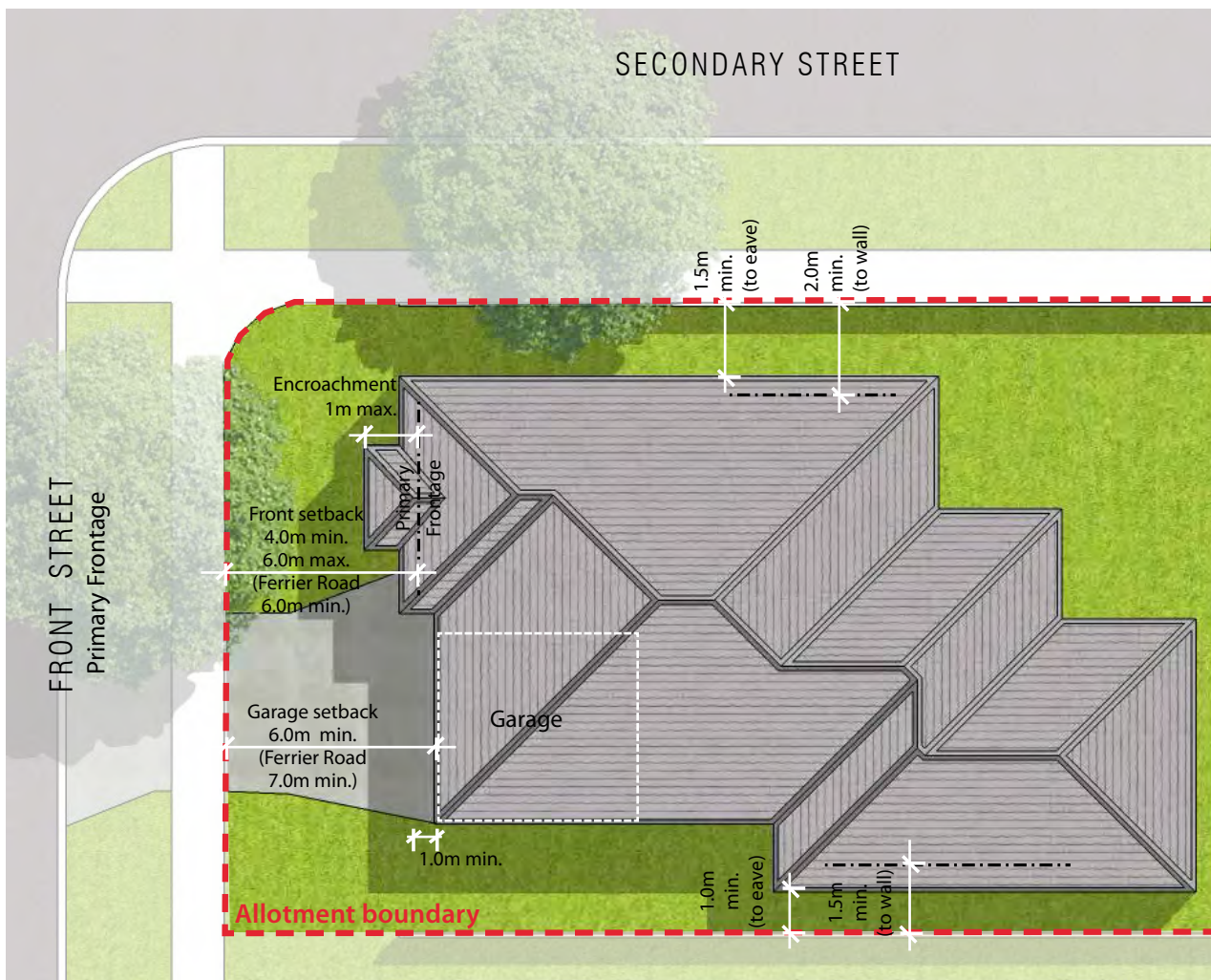
Front Setbacks

For standard corner lots dwellings must be setback from the front boundary by a minimum of 4.0m and a maximum of 6.0m.

Porches, porticos and verandahs less than 3.6m in height may encroach up to 1.0m into the minimum front setback.

Garages that are accessed from the front street, must be located a minimum of 1m behind the front wall of the main dwelling.

A minimum of 1.5 metres is to be maintained from the side boundary.



Corner Lot Setback plan



Entrance Portico

Secondary Street Side Setbacks

Side walls must be set back from secondary street boundaries in accordance with the provisions of ResCode. Garages that are accessed from the secondary street must be set back by a minimum of 6m from the property boundary

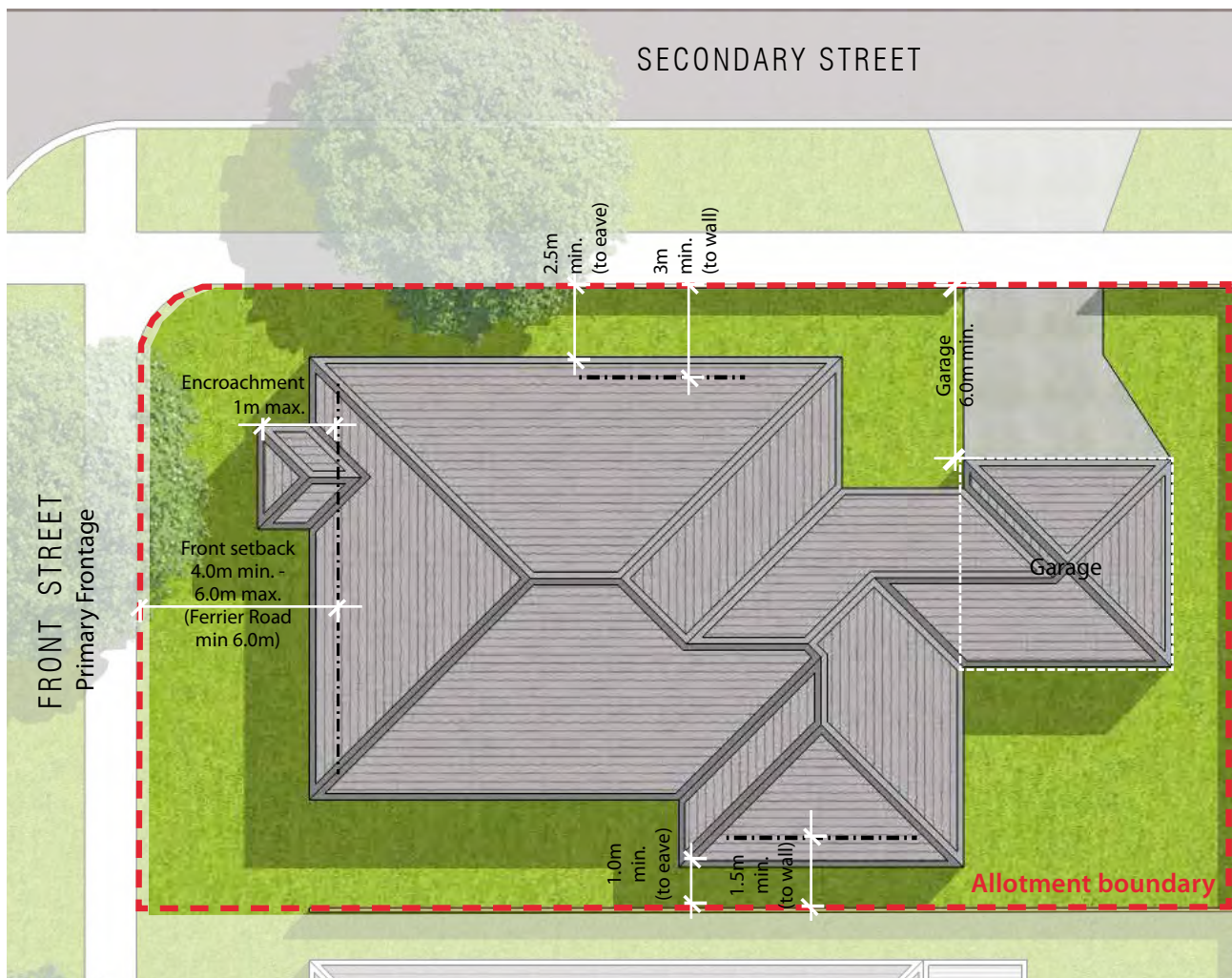
Side Boundaries

Walls must be set back by a minimum of 1.5m from the common side boundary and 3.0m from the secondary street frontage. Eaves, gutters and roof structure may encroach into the setback by no more than 0.5m.

Rear setbacks

Rear setbacks and setbacks from the secondary street frontage must comply with ResCode and/or any other governing authority requirements.

The requirements of this clause may be varied with the written approval of the CBDAC and the Macedon Ranges Shire Council.



Garage setback on corner lot

7

GARAGES



Balcony is located above garage on 2 storey dwellings



Carports are not permitted

7.1 PROVISION

A double lock up garage must be provided on all properties larger than 450sqm. Single garages are allowed for lots less than 450sqm. Open carports to the front of the dwelling will not be permitted. Triple garages in width to the street frontage will be strongly discouraged. The garage side must be enclosed to screen contents from the street.

7.2 CHARACTER

The architectural character of the garage must be harmonious to the main body of the dwelling.

Garages must have a slim line, sectional, tilt or panel lift door to all street frontages. Roller doors will only be permitted at the rear of the garage, as an opening to the backyard and where they are not within public view.

On single storey dwellings, where the garage door is located to the front of a dwelling, the door or opening of any garage must occupy less than 50% of the width of the lot's street frontage to a maximum of 6.0m.

On two-storey dwellings garages may exceed 50% of the lot frontage where balconies or windows above the garage are provided to the satisfaction of the CBDAC.

Garage setback requirements are provided at Section 6.

Garages should be integrated into the main dwelling, acting as a secondary element to the main façade of the building. On corner lots, garages may be detached and front the secondary street.

Maximum garage frontage



8

FENCING, LANDSCAPING & DRIVEWAYS



Wing fence with gate (corner lot).



Front fences are not permitted (unless installed by Seller)



Wing fence with gate

8.1 BOUNDARY FENCING

Where fencing is provided by the Seller, such fencing is to be maintained in a good order by the Buyer and not replaced with an alternative structure until such time as it has deteriorated to such an extent that continuing maintenance is not appropriate.

Fencing is a common link binding the streetscape and highlighting the individuality of each dwelling. Fencing type should be consistent throughout Cathlaw on Ferrier Design Guidelines.

Under no circumstances shall any fence constructed on the Land consist of reflective finish materials, wire mesh, barbed or plain wire. Steel star picket posts must not be used.

Where a Buyer wishes to install a swimming pool in a position in front of a dwelling then fencing which complies with the requirements of the Local Authority is permitted provided a landscaped area with a minimum depth of 1.5 metres is maintained between any such fencing and the alignment of the front boundary of the allotment and any side boundary at least from the front boundary to the front façade building line.

All fencing must be shown on plans submitted to the CBDAC for approval.

8.1.1. FRONT FENCING

Other than any fencing installed by the Seller, no fence shall be erected on the land closest to the front street frontage than the house building line, excluding any entry or portico areas. Refer to next section for front wing fences. Wing fencing must be complementary to the side boundary fencing.

8.1.2. SIDE AND REAR FENCING

All side and rear boundary fencing must be constructed from timber palings, to a height of 1800mm (+/- 50mm). Side boundary fencing must terminate and return to the dwelling at least 1.0m behind the front building line. This part of the fence that returns to the house is known as a wing fence. Wing fencing must also be constructed from timber palings, unless approved by the CBDAC. Wing fencing must be 1.8m (+/-50mm) in height. It is encouraged to include a gate within the wing fencing; however, direct access to the rear yard may be possible either via a gate or directly from your garage. Where timber paling fencing is used, timber capping is encouraged. Fencing constructed along the side boundary forward of the dwelling or along the front boundary is not permitted other than where provided by the Seller. Wing fencing must be complementary to the side boundary fencing.

8.1.3. SIDE STREET FENCING

On a lot with a side boundary that forms the rear boundary of an adjoining lot, the side fence on that boundary can continue to the front boundary. On corner lots, fencing to the secondary street frontage should be terminated at the dwelling setback of the primary street frontage.

For fencing on corner lots, the side fencing along the secondary street must be constructed from timber palings to a height of 1.8m (+/-50mm). Exposed posts on both sides of the palings are encouraged and palings must be on the external side fronting the street.



Drought tolerant planting

8.2 FRONT LANDSCAPING

To promote an attractive neighbourhood, residents are encouraged to install quality landscaping.

The form and texture of the plantings should complement and enhance the architecture of the dwelling. Planting of canopy trees in appropriate locations is encouraged. Landscape designs should be prepared with an objective for low water usage.

Gardens are encouraged to be environmentally sensitive by utilising appropriate drought tolerant native plants, organic or mineral mulches and drip irrigation systems. Native plants that are common to Victoria and the Region are also encouraged.

Landscaping of your front garden must be completed within 6 months of issue of the Occupancy Permit. Hard paved or impervious surfaces must be limited to driveways and pedestrian pathways only.

The minimum front landscaping works will include:

- ▶ Fine grading and shaping of landscaped and lawn areas including nature strip.
- ▶ Cultivation of existing soil in the garden beds to a 200mm depth, the addition of imported topsoil and fertiliser to all landscaped areas, as well as the use of mulch and/or other selected topping.
- ▶ At least 1 advanced tree (2.0m minimum height).



Low quality landscaping with no canopy tree at least 2m high

8.3 LETTERBOXES

Letterboxes should be designed to match and compliment the dwelling design. Single post supporting letterboxes are discouraged.



Mail box colour matches the architecture



Mail box integrated into a landscape feature wall



Single posted letterboxes are discouraged.



Plain concrete is not permitted.

8.4 DRIVEWAYS

Other than corner lots, there must be only one driveway per lot and located to align with the crossover. Garages should be sited on the lot in response to the location of existing crossovers with driveways tapered to match crossover width. There must be at least 500mm of screen planting between the driveway and the adjacent side boundary.

Where possible, the amalgamation of crossovers from the street to lots is encouraged.

Driveways must be fully constructed prior to the issue of the Occupancy Permit.

All driveways, porches and any other concreted areas within the front yard must be constructed of masonry pavers, exposed aggregate, coloured concrete, fixed granular surfaces or stamped or stenciled masonry surface. The colour selection must complement the building design and external colour scheme.

No plain concrete will be permitted unless it is out of public view.



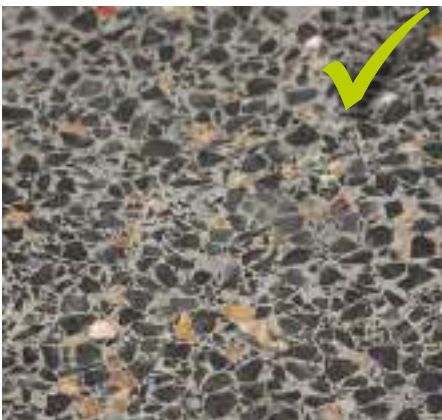
Plain Concrete is not permitted, but driveway tapers to align with cross over is permitted



Textured concrete surface



Textured concrete surface with tapering to match crossover



9

ADDITIONAL BUILDINGS & STRUCTURES



Sheds must not be larger than 15m² and must be hidden from view



Downpipes must not be on the front facade



Evaporative cooling units to be located out of public view

9.1 SHEDS

Sheds should be constructed of materials and colours consistent with and complimentary to, the materials used for the dwelling. Colorbond® and similar products are acceptable materials.

Sheds must be screened from any street and/or public view by locating to the rear or side of the dwelling. An appropriately located carport out of public view may be considered to store boats, trailers or any similar vehicles.

Sheds must not cover an area greater than 15m² and not exceed a maximum height of 2.5m.

9.2 PERGOLAS, PATIOS & DECKING

Any proposed additional buildings or ancillary structures including decking, pergolas, patios, carports, swimming pools, BBQ areas or similar, must be submitted to the CBDAC for approval. This can be done at the time of submitting the dwelling design or done at a later date as a standalone submission.

The CBDAC will assess these on their merits.

9.3 CLOTHESLINES, CHILDREN'S PLAY EQUIPMENT & BBQ'S

Clotheslines, childrens play equipment and BBQ's must be screened from any street and/or public view by being located to the rear or side of the dwelling.

9.4 ANCILLARY ITEMS

All external plumbing must be out of public view, with the exception of gutters and downpipes. Downpipes must not be located on the front façade of the dwelling.

Services infrastructure such as air conditioning units should not be visually prominent and should be located to minimise the acoustic impact on adjacent properties.

External TV antennae and other aerials must be unobtrusive and located towards the rear of the dwelling. Satellite dishes will only be approved if out of public view. Clothes lines must not be visible from public areas.

Externally mounted spa equipment attached to side boundary walls of any dwelling must be positioned out of public view, be painted in a colour matching the adjoining wall surface and fitted with noise baffles.

Evaporative cooling units are to be located out of public view where possible and must be of low profile, located below the ridge line and coloured to match the roof.

Metal security shutters are not permitted on front windows.

9.5 NBN

The development qualifies for future NBN roll out. All premises must be aware of and conform with the NBN Co Preparation and Installation Guide for SDU's and MDU's.

10

GENERAL



Properties must be maintained and grass cut

10.1 MAINTENANCE OF LOTS

Prior to the occupation of a dwelling, the lot must be maintained by keeping the grass cut, and the lot free from rubbish. When stored on the site, builders waste must be stored in an enclosed receptacle. Builder's waste materials and rubbish during construction must be removed on a regular basis and must not be allowed to accumulate.

After occupation of the dwelling, front yards must be maintained to an acceptable level.

Rubbish and recycle bins must be stored out of public view. It will be at the discretion of the CBDAC to determine if allotments are being maintained to an acceptable level.

The Buyer shall maintain the Land, including any unpaved footpath areas adjacent to the Land, in a mown and tidy condition and shall keep the Land, including any unpaved footpath areas adjacent to the Land, free from noxious weeds and plants. In the event that the Buyer fails to comply with its obligations under this clause then the Buyer consents to the Seller entering onto the Land or adjacent footpath areas to undertake the necessary works and any expenses incurred by the Seller in doing so will be recoverable from the Buyer as a liquidated debt.



Caravans, recreational and commercial buildings should be screened from public view

10.2 COMMERCIAL VEHICLES

Trucks or commercial vehicles (exceeding 1 tonne in carrying capacity), recreational vehicles and caravans shall be screened from public view when parked or stored.

10.3 SIGNS

No signage that is visible from the street or park may be erected on the lot without the written consent of the CBDAC except for:

- a 'Home for Sale' sign, which may be erected after completion of the dwelling. Only one advertising sign is permitted per dwelling at any one time and these signs must be removed once the property is sold.

- A builder's sign (600mm x 600mm maximum) where they are required on allotments during construction.

10.4 TEMPORARY & PERMANENT STORAGE

The buyer shall not in any circumstances allow the Land to be used for the temporary or permanent storage of any motor vehicle bodies, motor vehicle parts, rubbish, chattels, objects, matters, items or things (including items of a second-hand or damaged nature) whether for resale or otherwise such that the storage of such items, in the absolute discretion of the Seller, affects the amenity of the Estate.

10.5 PARKING

Recreational vehicles, boats or caravans must not be stored on front driveways or within the front building setback area.



No signs

11

ENVIRONMENTAL SUSTAINABILITY



Upper floor has sun protected from the eave and the lower floor from the pergola



North facing windows have no passive sun control



Trees used to provide shade for the house

11.1 LIVEABILITY CONSIDERATIONS

Applicants are encouraged to submit designs that are environmentally responsible.

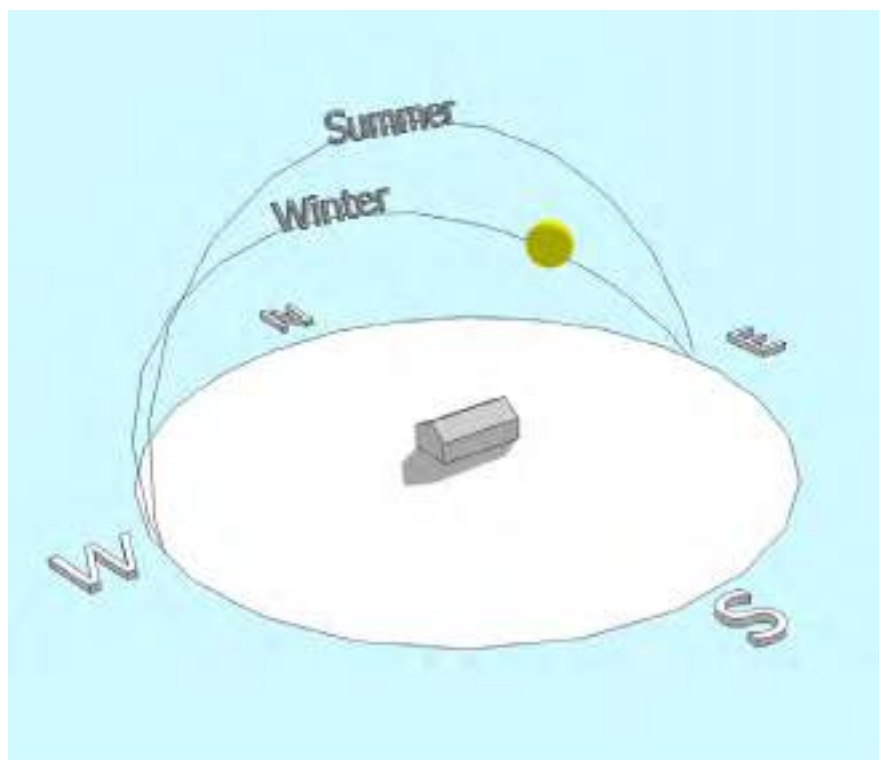
The orientation of a lot will determine the best siting of the house on the lot. A building's orientation plays a large part in achieving the optimum solar access for a home during winter.

Lots on the north side of a street will have sunny backyards – good for private outdoor living. Lots on the south side of a street will have sunny front yards – good for show piece gardens.

Lots facing east-west will have sunny side yards – these houses should be sited to leave the largest possible outdoor living space along the northern boundary.

Dwellings can become more liveable by taking into account the orientation of rooms and windows, shading of windows and walls, ceiling heights, sustainable building materials, cross flow ventilation, covered open spaces, insulation and water efficient fixtures. Eave design can act as excellent shading devices during warmer months. Implementing these features can also result into substantial financial savings for the home owner.

Double storey homes must respect the privacy of neighbouring dwellings, including potential overshadowing issues that may arise as a result of siting choices. It is the responsibility of applicants with double storey proposals to ensure their design has demonstrated these factors and to receive approval from the relevant authority and/or Building Surveyor prior to construction.



Energy Efficient homes allow sun access in winter and shade in summer



Solar panels to follow the roof pitch

11.2 SOLAR PANELS

Solar panels must be located on roof planes preferably not visible from public areas. The panels should be attached on the same plane as the roof pitch.

Where visible from public areas, solar panels will be assessed on their merits with regard to scale, form and colour.

11.3 RAINWATER TANKS

Rainwater storage is encouraged. The rainwater tank and all accessories must not be located in front of the dwelling or be visible from the street and public spaces. The rainwater tank and all accessories must be coloured to match the dwelling.

To help calculate the size of water storage that may be required please contact the Department of Environment and Primary Industries for appropriate storage requirements in relation to the collection area provided.



Rainwater tanks must not be visible from the street frontage

11.4 ENERGY RATINGS

It is the applicant's responsibility when building a home to comply with Victoria's energy rating requirements. Dwelling designs should be assessed by a licensed energy rating company, and they in turn will make recommendations regarding insulation and other resource saving measures. Dwellings must achieve the minimum standard as currently legislated.



Solar panels not flush with roof pitch

12

EXTERNAL MATERIALS & COLOURS



25% of the facade should be of a contrasting colour



Harmonious colour palette

12.1 BUILDING MATERIALS AND FINISHES

New buildings in residential areas should adopt a materials palette drawn from the prevailing finishes found in the streetscape. Dwellings adjoining the open space reserve should adopt a colours and materials palette that blends with the natural features of the corridor. The use of contemporary materials and their application is strongly encouraged as long as they are consistent with the emerging neighbourhood character.

The external elevations of any dwelling or structure (including sheds, garages & outbuildings) are to be constructed of clay brick, stone, painted or rendered masonry or other material approved by the Seller.

All exterior surfaces of all buildings (other than clay brick surfaces) including gutters and downpipes shall be primed, undercoated and top coated or be in a factory process colour finish.

External walls must be constructed from a minimum of 75% face brick or masonry veneer, or other approved texture coated material. At least 25% of the facade of the home must be finished in a contrasting/feature element in a different texture, material or colour.

The utilisation of materials such as masonry, render, natural stone, exposed timber or other feature cladding materials will be considered and encouraged as key design articulation elements. Use of quality materials and finishes is encouraged to give a timeless appeal.

Homes in kit or modular form and the use of second hand materials will be subject to approval by the CBDAC and Macedon Ranges Shire Council. New building materials based on recycled content is permitted.

Unless otherwise approved by the CBDAC, unpainted and/or untreated metalwork and reflective glazing will not be permitted.

Infill fibre sheet panels are not permitted above window and door openings where visible from the street. Fibre-cement sheeting may be permitted if finished as either a textured, painted or rendered surface except as above.

12.2 ROOFING MATERIALS

Roofing shall be constructed of concrete or terra-cotta tiles or factory processed coloured corrugated metal sheeting. Zinc or aluminium finished metal is not permitted except on a roof which does not exceed 5 degrees in pitch.

12.3 DRIVEWAY MATERIALS

All driveways, porches and any other concreted areas within the front yard must be constructed of masonry pavers, exposed aggregate, coloured concrete, fixed granular surfaces or stamped or stenciled masonry surface. The colour selection must complement the building design and external colour scheme.

No plain concrete will be permitted unless it is out of public view.

12.4 COLOUR SCHEMES

A harmonious colour palette consisting of natural, subdued hues which are complimentary to the surrounding environment and colour tones which reflect the theme of the dwelling are encouraged. Paint work should be complementary in colour selection and reinforce the contemporary nature of the dwelling design. The use of strong or bold colours should be limited.

In order to avoid further information being requested in regards to colour schedules, the applicant must ensure that all relevant information is provided when applying for design approval.

Masonry colours should be similar to:

Light Tone Masonry Colour Range



Austral Urban One Nougat



Austral Homestead Mushroom



Boral Nuvo Aspire Moss



Boral Nuvo Aspire Mist



Boral Nuvo Aspire Coco

Mid Tone Masonry Colour Range



Austral Symmetry Grey



Austral Access Fawn



Boral Smooth Face Cinnamon



Boral Elan Riverside Beaumonde



Boral Elan Signature Grey Nuance

Dark Tone Masonry Colour Range



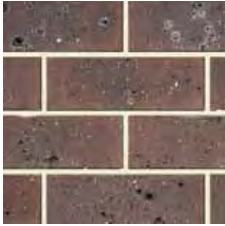
Austral Elements Graphite



Austral Access Chestnut



Boral Nuvo Aspire Storm



Boral Labassa



Boral Nuvo Aspire Mangrove

Dwelling materials should be similar to:



Lightweight Cladding types - vertical panel



Lightweight Cladding types - horizontal panel



Lightweight Cladding types - timber



Lightweight Cladding types - flat panel



Lightweight Cladding types - corrugated and battened





APPLICATION FORM

Address to:
CBDAC
C/- RM2 Rogers Milne Marshall
PO Box 1101
Carlton VIC 3053
bmilne@rm2.com.au

Lot Details:

Lot Number	
Street Address	

Land Owners Details:

Name	
Current Address	
Phone	
Email	

Builder | Designer | Architect

Company Name	
Contact	
Address	
Phone	
Email	

Building Design Details

Builder	
Building Model (if applicable)	
Floor Area (dwelling area, garage area, patio and veranda)	

Submission Requirements. 2 x copies of each of the following plans are required:

- ☐ **Site Plan**
Site Plan indicating setback dimensions of all buildings, total building footprint, building areas (detailing internal area of dwelling, area of garage and external patio/veranda/portico areas), vehicle crossovers, driveway and building envelope. Minimum Scale 1:200.
- ☐ **Floor Plan/s**
Floor Plans showing key dimensions, window positions and roof plan. Minimum Scale 1:100.
- ☐ **Elevations**
All elevations of the structure(s) including building and roof heights, roof forms, roof pitch and eave depths. Minimum Scale 1:100.
- ☐ **Landscape Plan**
Including driveway location and material, planting locations, lawn areas and planting schedule. Minimum Scale 1:200.
- ☐ **Schedule of Materials and Colours**
Schedule of all external finishes, including details of materials and colours.
Details of any other works (such as garden sheds, pergolas and BBQ areas) including location, size, materials and colours.
Fence designs (where relevant) showing location, height, materials and colour.

Approval of the Building proposal as detailed in this submission is requested. I/we acknowledge that an incomplete application cannot be considered and that approval by the CBDAC is not a building approval nor does it imply compliance with the building code, Building Regulations or Council Planning Scheme.

Signature:

Date:

Name:

Contact Phone Number: